



TYPICAL RESIDENTIAL DECK DETAILS & REQUIREMENTS

A Building Permit is Required for All Deck Construction: A site plan and building plans are required. Show the type of wood and dimensions of all materials you propose to use and indicate all spans. Provide a side elevation from bottom of footing to top of finished guardrail – including all dimensions.

Required Setbacks: The **Rear Yard** setback for an OPEN terrace, porch or deck NOT including a roofed area – the structure may occupy a portion of the rear yard as long as the remaining unoccupied portion of the yard has a depth of not less than ten (10) feet to the rear property line. The **Front Yard** setback for an OPEN terrace, porch or deck NOT including a roofed over area – the structure may occupy a portion of the front yard as long as the remaining unoccupied portion of the yard has a depth of fifteen (15) feet to the front property line. The **Side Yard** setback remains the same as for other structures – seven (7) feet from the side property line if attached to the house or five (5) feet from the side property line if free standing in the yard.

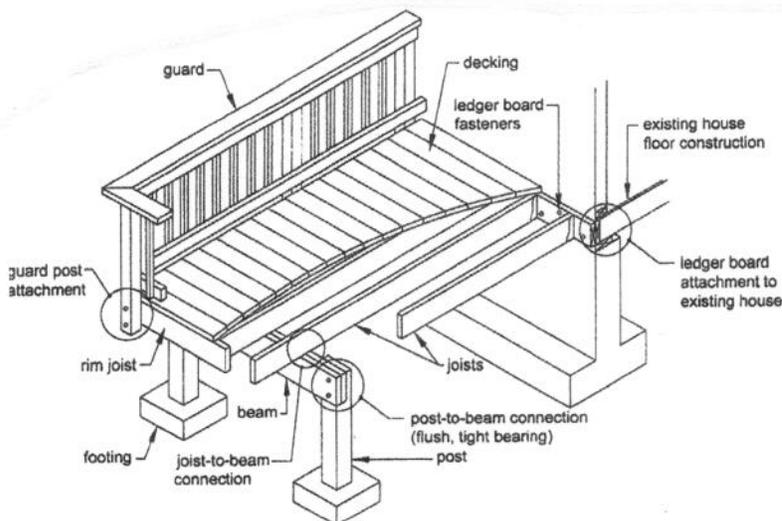
Footings: Footings are required to be a minimum of 36" below grade and at least 12" wide and 6" deep.

Stair and Railing Requirements: The stair and railing requirements for decks and porches are the same as for other structures. Refer to the Typical Residential Stair Details handout for information regarding these requirements.

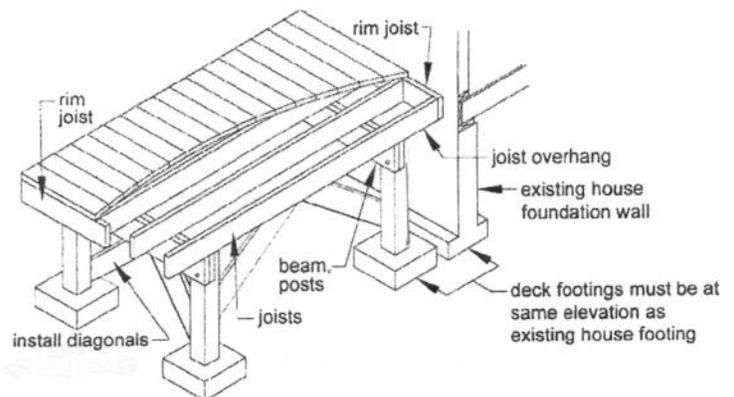
Inspections: The party who applied for the permit is responsible to call the office for inspections.

(1.) A footing inspection must be made after the footings are dug, but before they are poured. (2.) A framing inspection may be required before the decking boards are attached if the deck is less than four feet above grade level. (3.) A final inspection is required after the project has been completed (if the deck is four or more feet above grade, the frame inspection can be done concurrently).

The Following Illustrations are for Informational Purposes Only and May Not Reflect Your Specific Project Requirements:



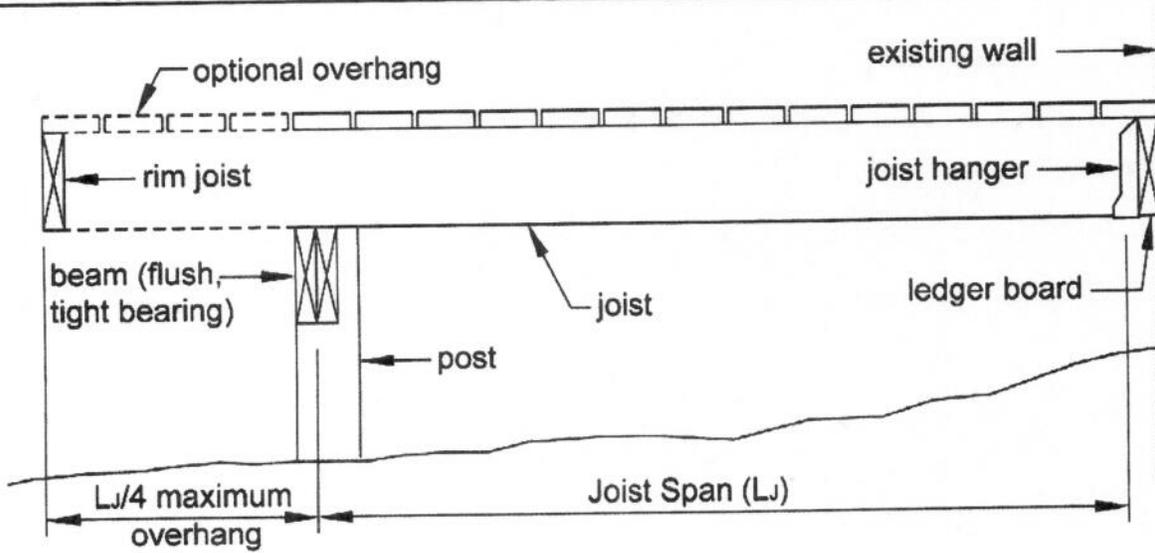
Typical Deck to Ledger Connection



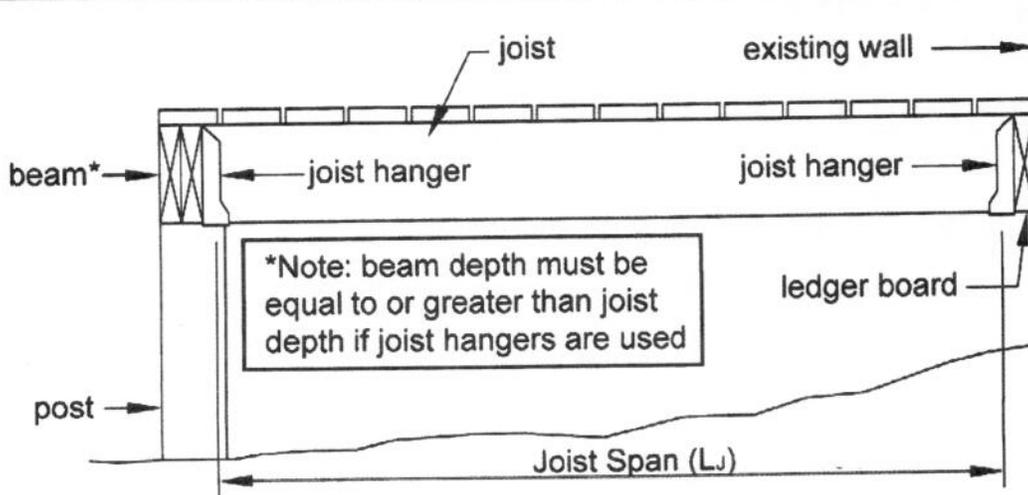
Typical Free-Standing Deck Connection

Typical Deck Framing Examples

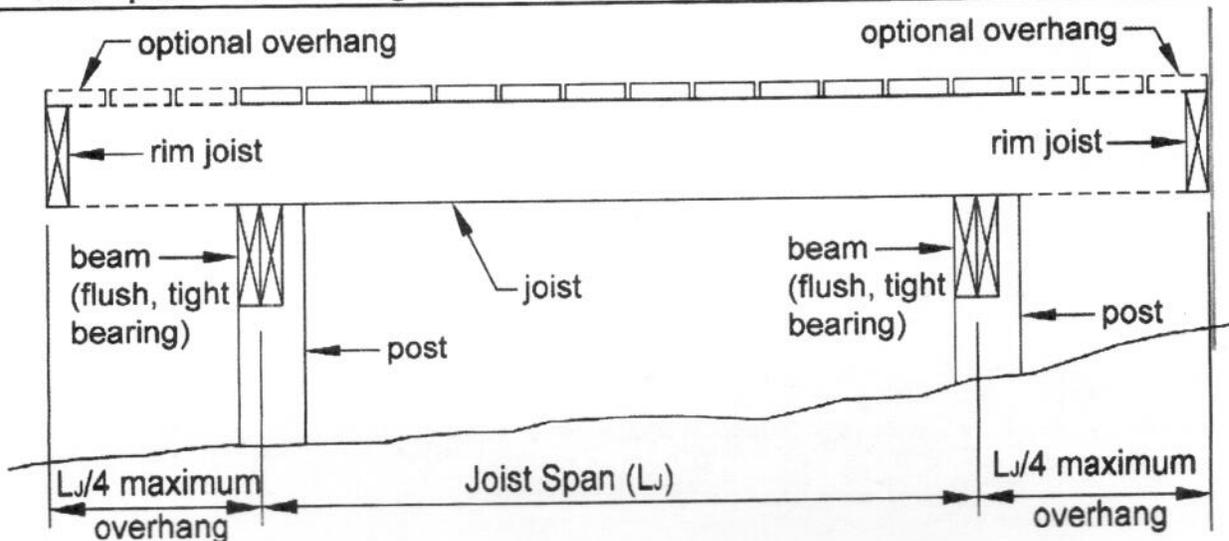
Joist Span – Deck Attached at House and Bearing Over Beam

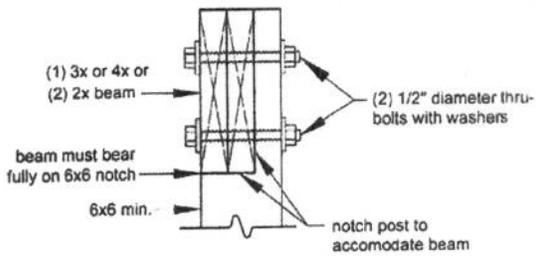


Joist Span – Joists Attached at House and to Side of Beam

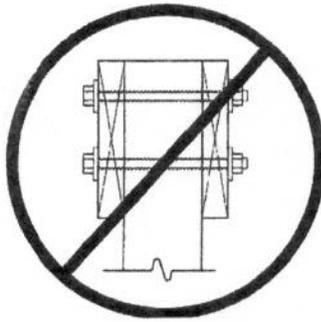


Joist Span – Free Standing Deck

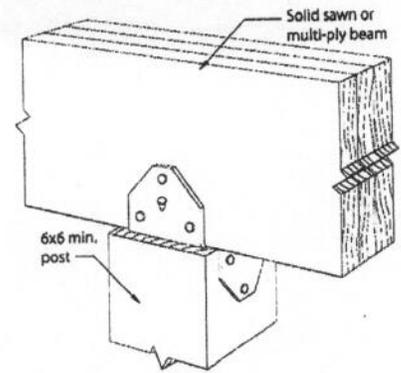




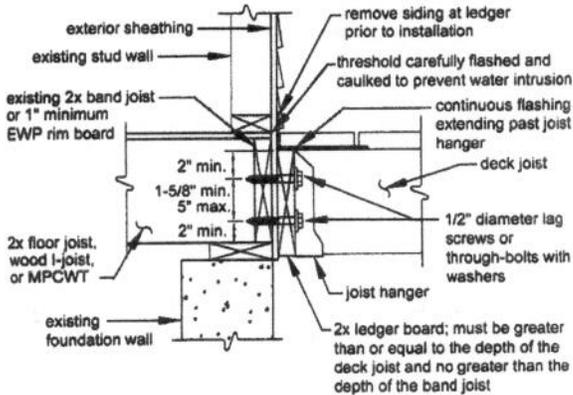
Post to Beam Attachment Requirements



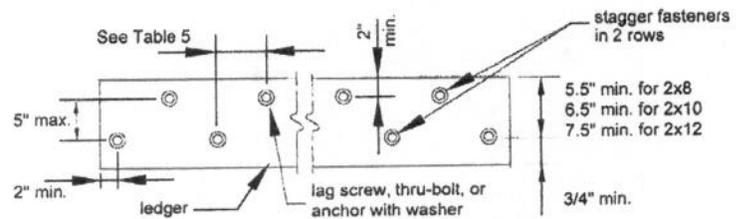
Prohibited Attachment
(Beam Must Be Fully Seated On Post)



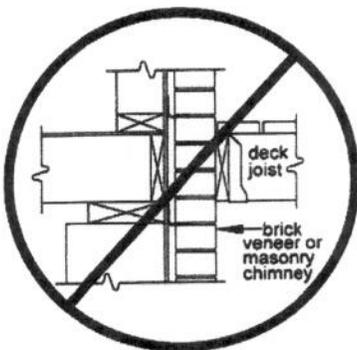
Alternate Approved Post-to-Beam Attachment Requirements



Typical Attachment of Ledger Board to Band Joist or Rim Board



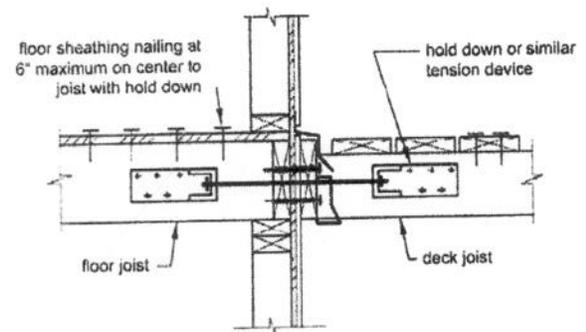
Typical Ledger Board Fastener Spacing and Clearances



No Attachment to or Through Exterior Brick or Other Veneers



No Attachment to Overhangs Allowed



Example of Lateral Load Device
(Minimum of Two Are Required)

Deck Stability: Decks greater than two feet above grade shall be provided with diagonal bracing as shown:

